



ME

ARCHITECTS

INGLEDENE COURT/ M7 4HY DESIGN & ACCESS DOCUMENT

INGLEDENE COURT | DESIGN DOC | 24/262 - 6001 - R02 | DECEMBER 2025

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1.0 INTRODUCTION

1.1 Statement

This Design & Access Statement has been prepared by ME Architects on behalf of the applicant for the site at Ingledene Court, Upper Park Road, Manchester M7 4HY.

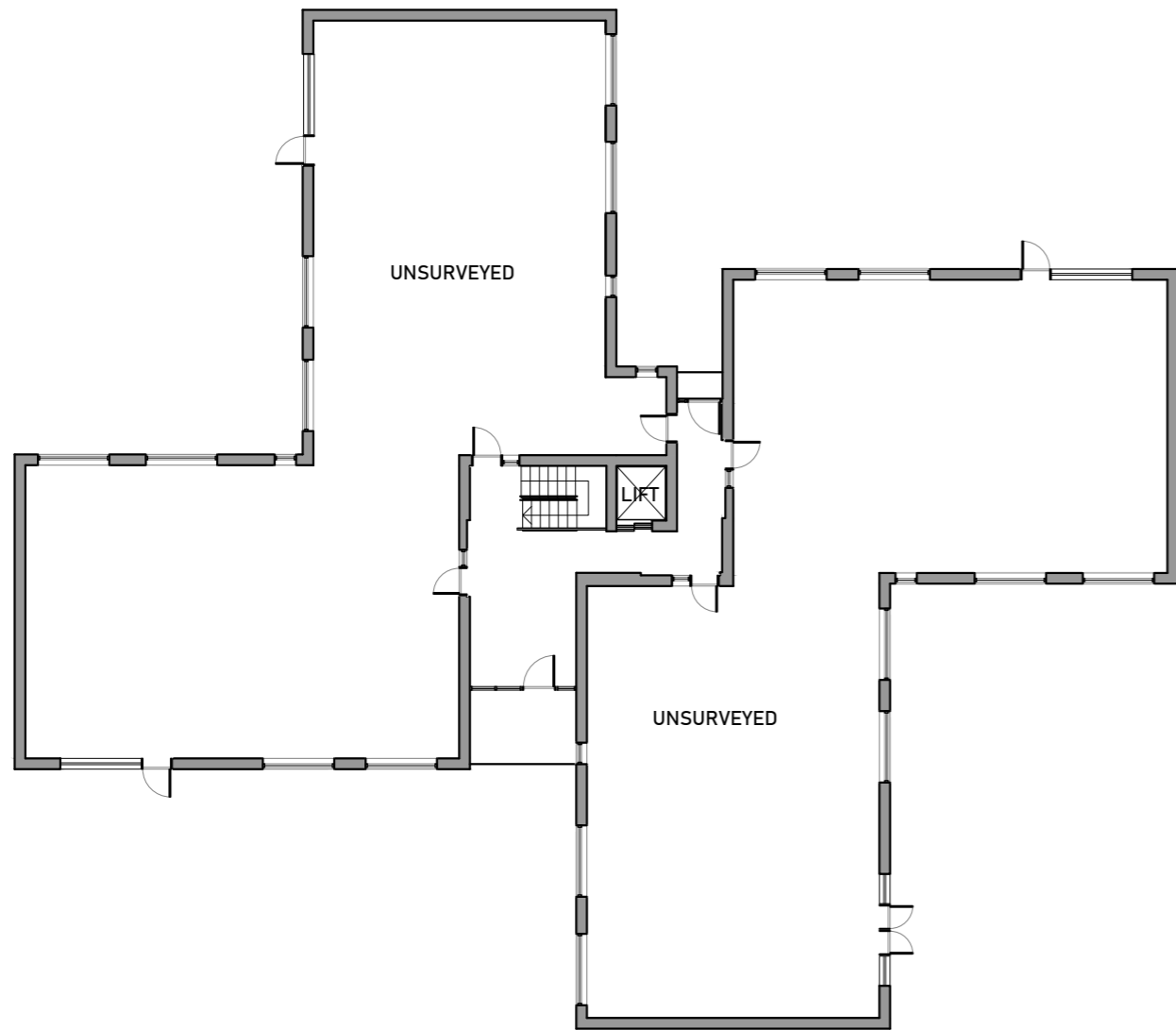
It should be read in conjunction with all architectural drawings submitted to Salford City Council, as well as the associated supporting documents, including the Daylight and Sunlight Report by Herrington Consulting Ltd, the Transport Statement by SCP Transport Ltd, and the Planning Statement by Planning Insight. The proposal seeks to extend the existing residential block by one storey to provide four new residential units, along with additional cycle and car parking and waste storage facilities.

1.2 Location

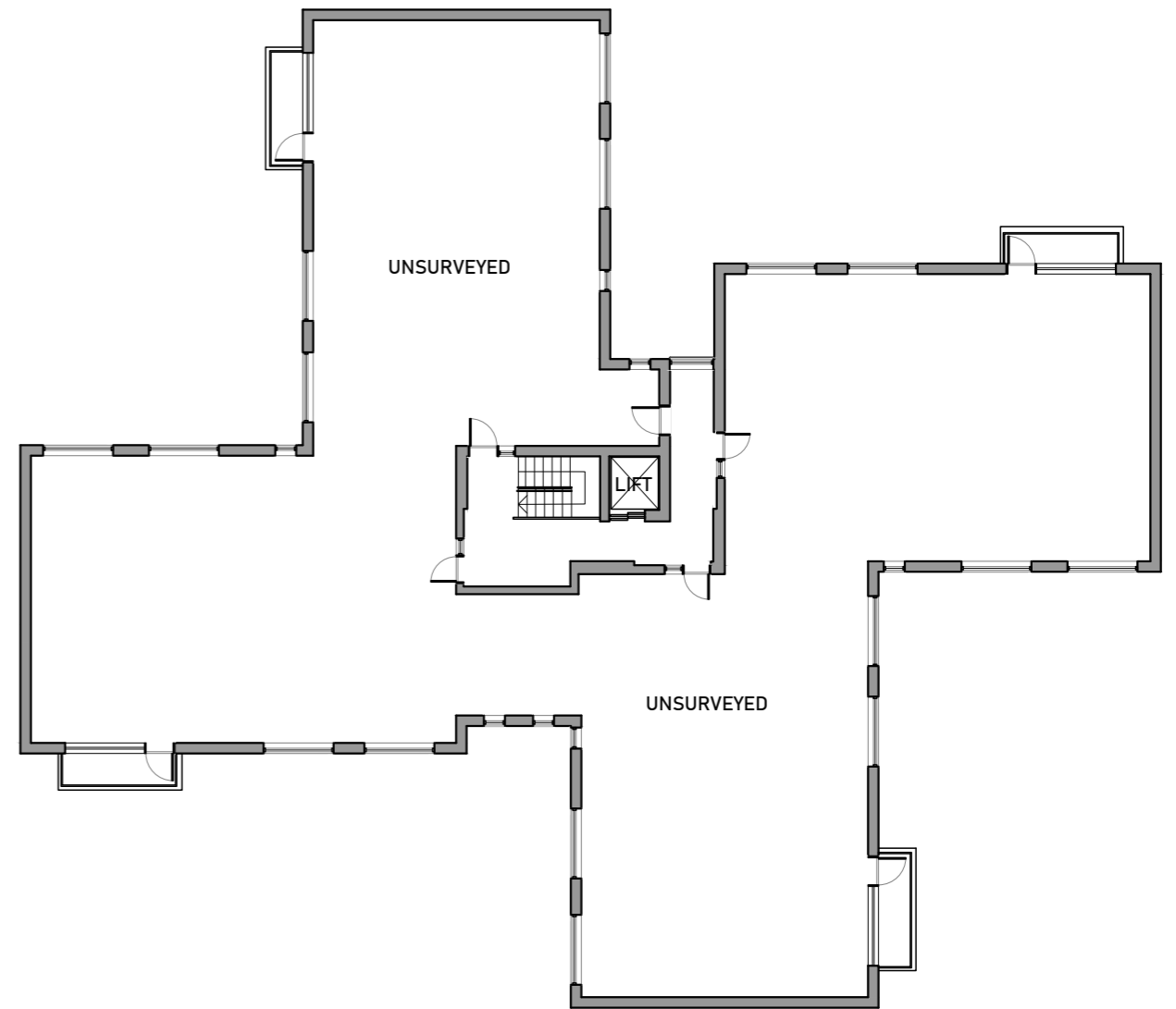


2.0 EXISTING

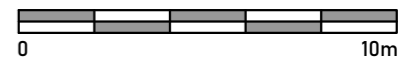
2.1 Existing Floorplans

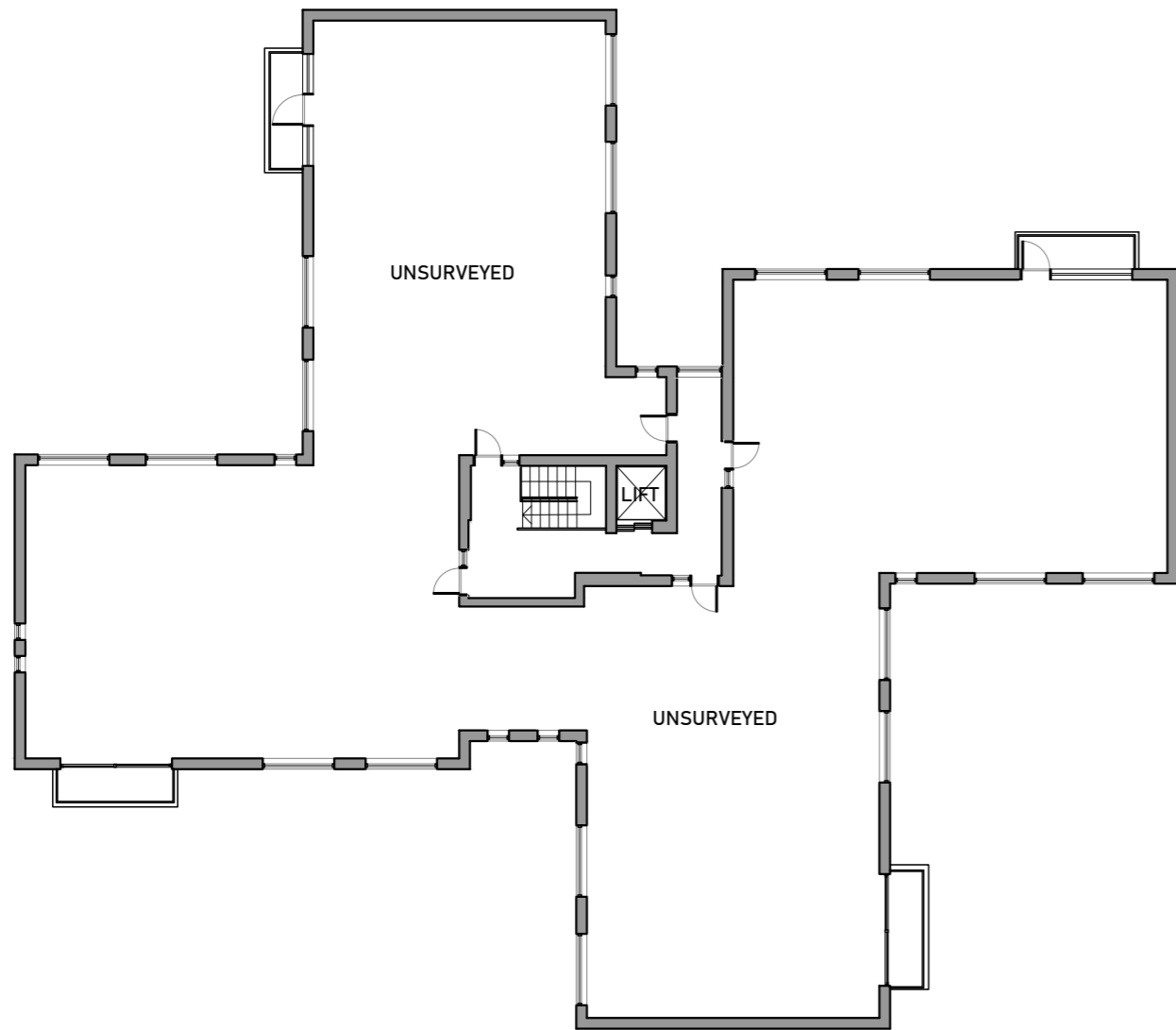


Existing Ground Floor Plan
Scale 1:200 @ A3

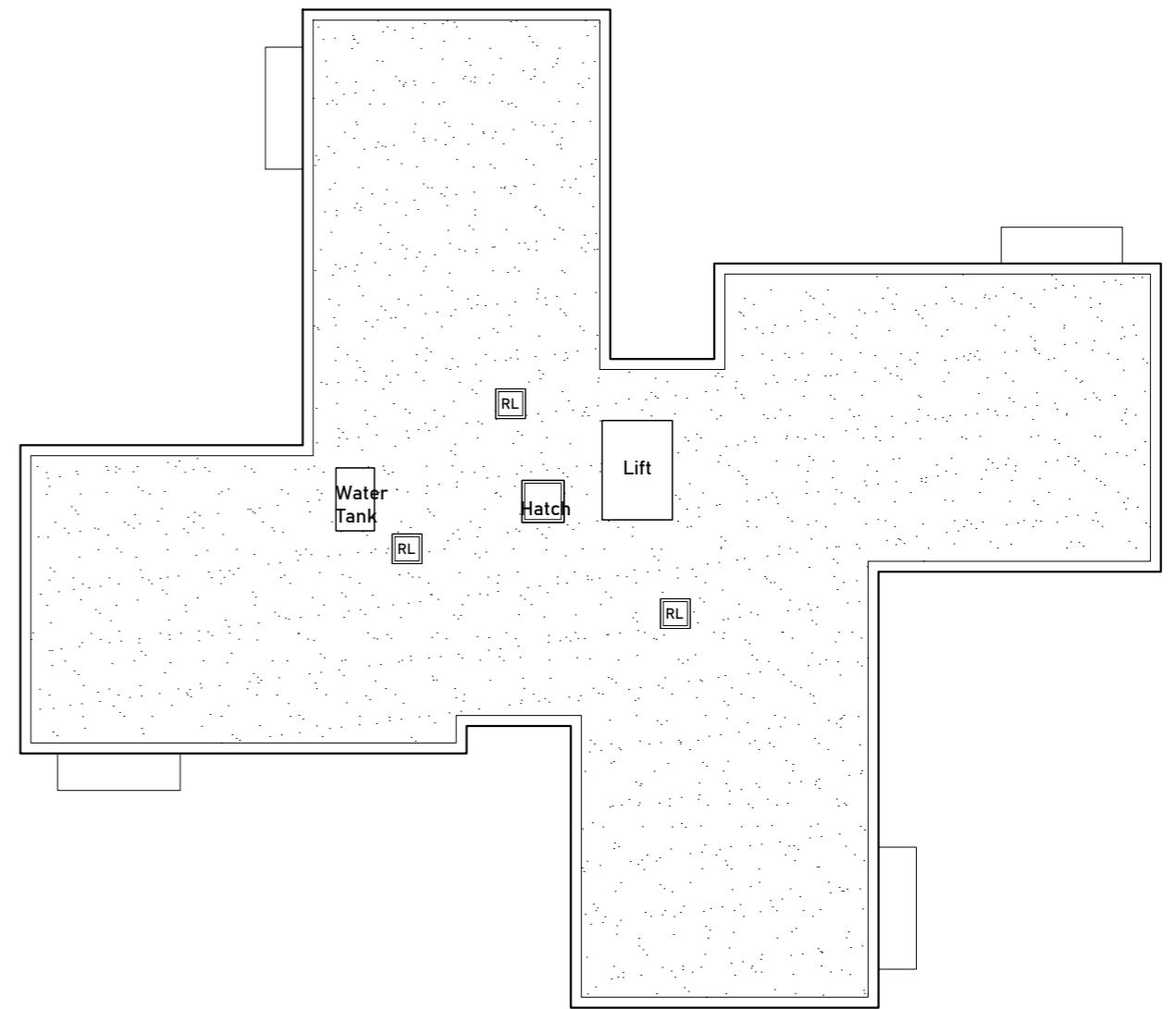


Existing First - Second Floor Plan
Scale 1:200 @ A3





Existing Third Floor Plan
Scale 1:200 @ A3



Existing Roof Plan
Scale 1:200 @ A3



2.2 Existing Elevations



Existing Side (West) Elevation
Scale 1:200 @ A3



Existing Rear (South) Elevation
Scale 1:200 @ A3



Existing Side (East) Elevation
Scale 1:200 @ A3



Existing Front (North) Elevation
Scale 1:200 @ A3

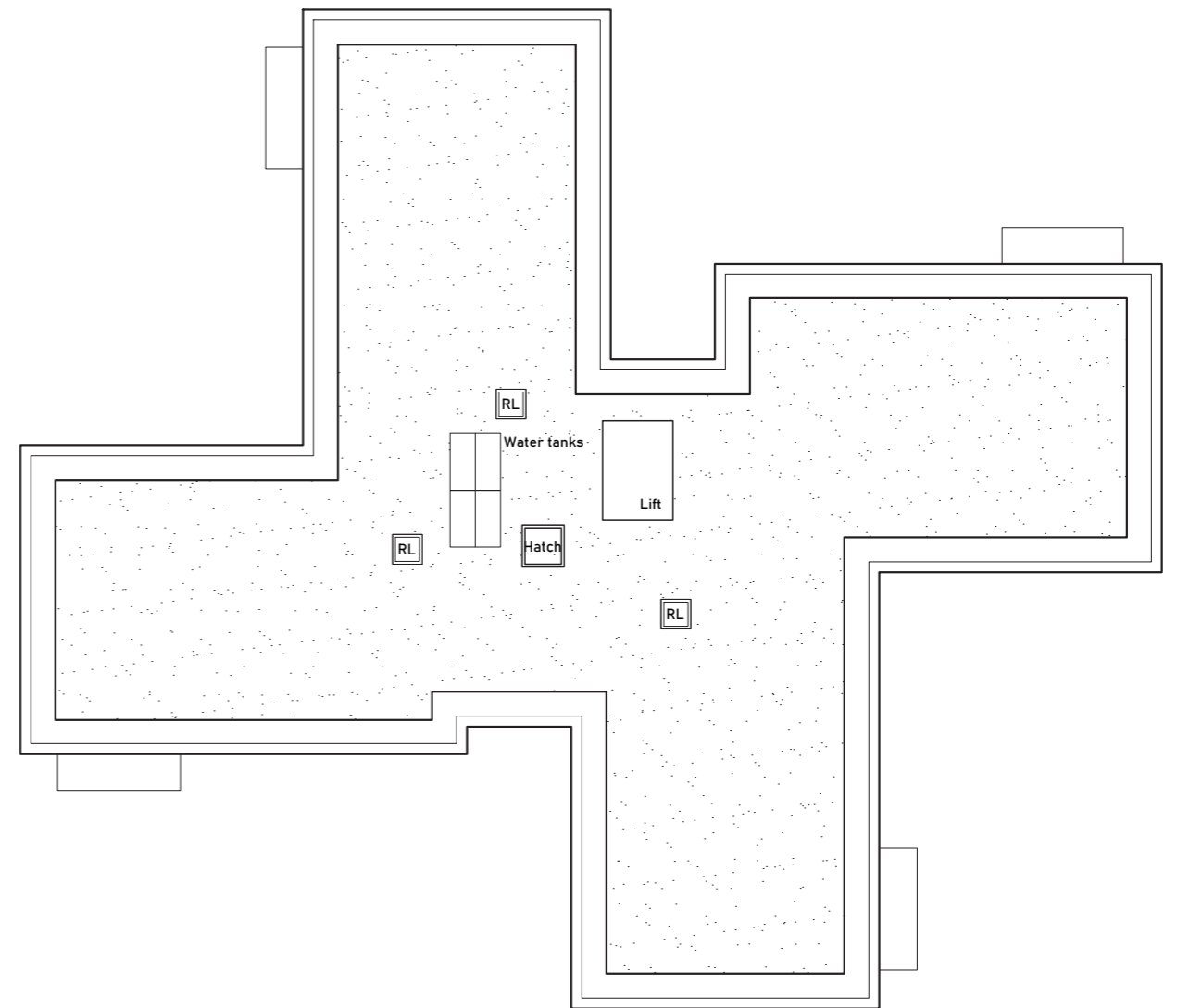
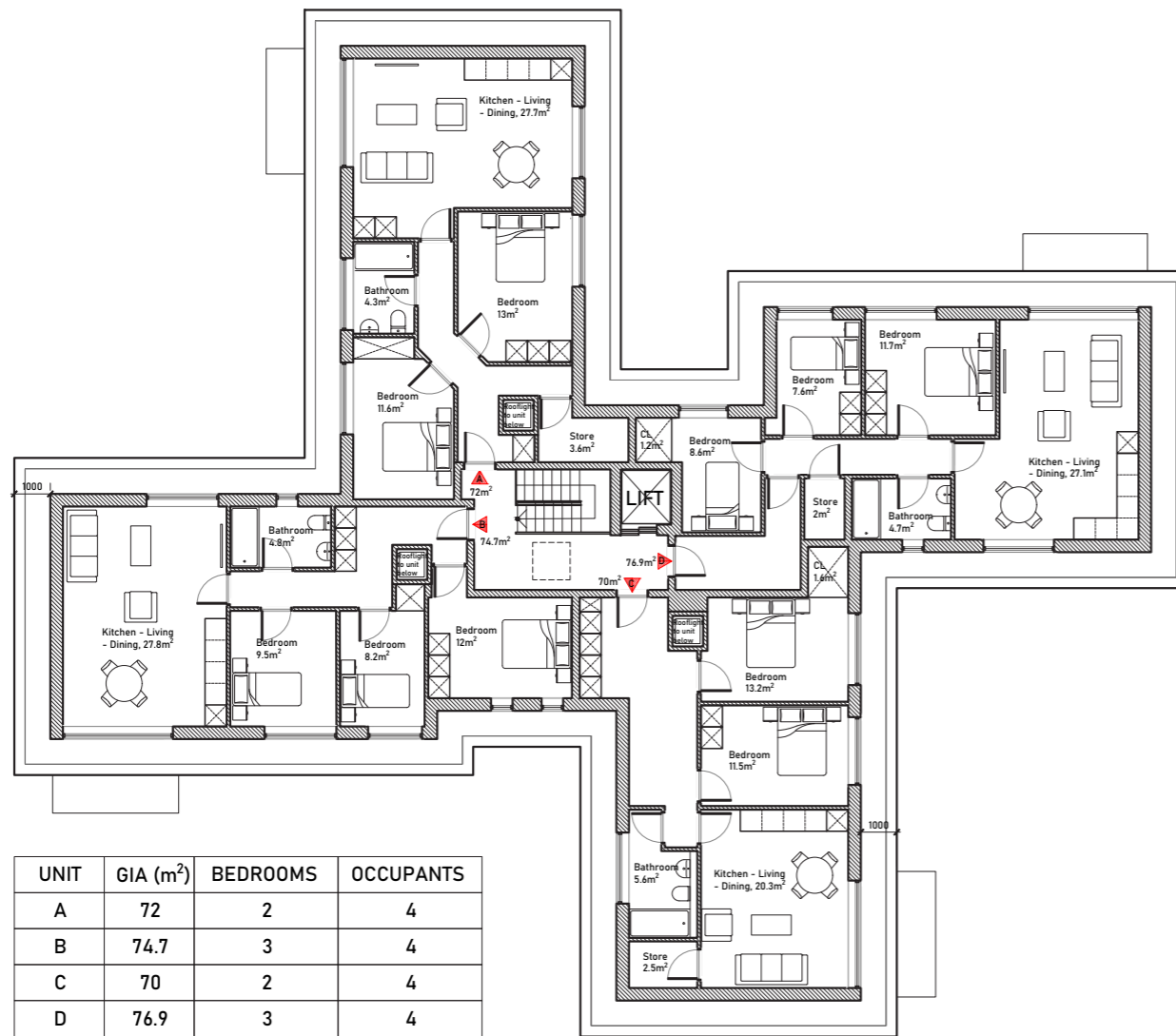


2.3 Existing Massing



3.0 PROPOSED

3.1 Proposed Floorplans

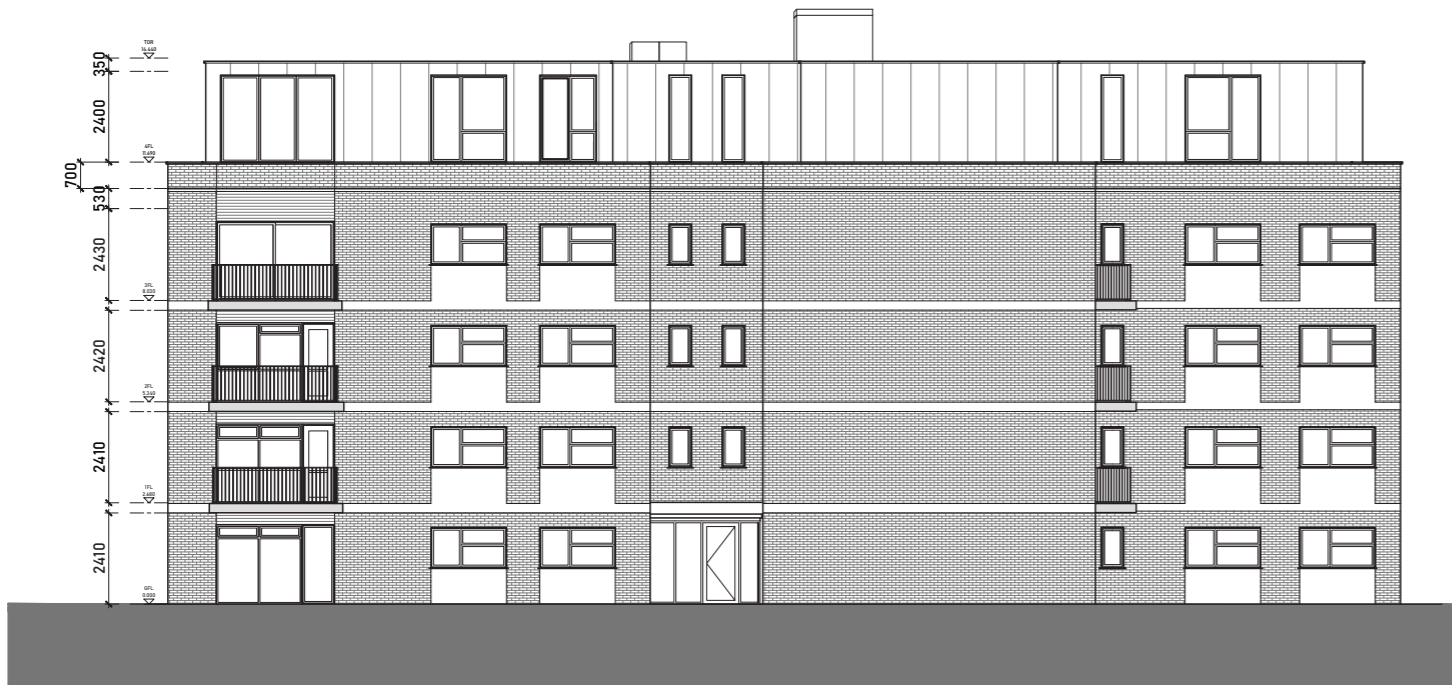


Proposed Fourth Floor Plan
Scale 1:200 @ A3

Proposed Roof Plan
Scale 1:200 @ A3



3.2 Proposed Elevations



Proposed Side (West) Elevation

Scale 1:200 @ A3



Proposed Rear (South) Elevation

Scale 1:200 @ A3



Proposed Side (East) Elevation

Scale 1:200 @ A3



Proposed Front (North) Elevation

Scale 1:200 @ A3

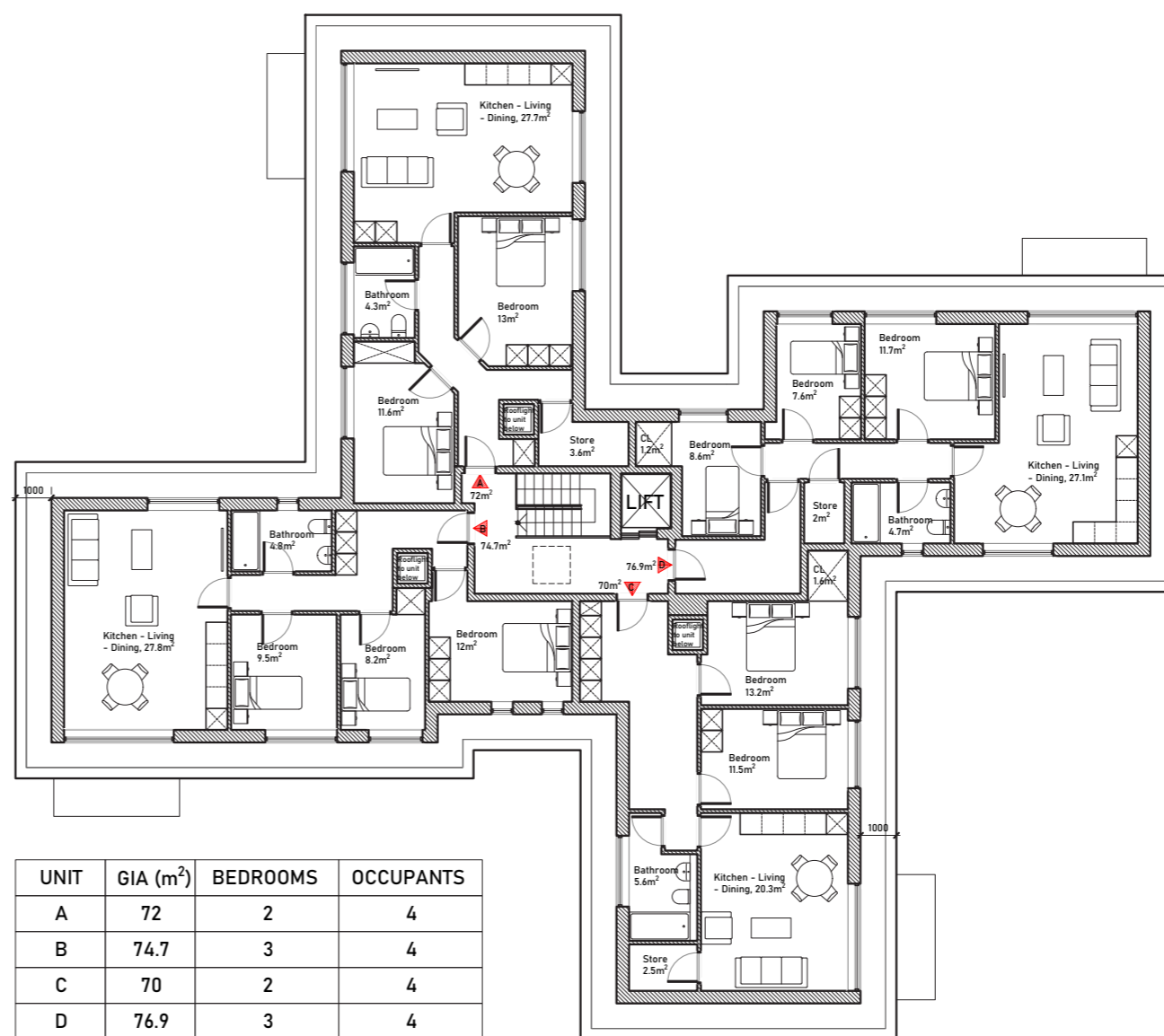



3.3 Layouts

The proposed layouts are designed to follow existing window placements while retaining a sense of privacy as well as allowing for adequate daylight and a comfortable flow throughout each unit.

All units on the proposed third floor vary from 70 to 76.9m², and are dual aspect 2-3 bedroom dwellings. All contain spacious open-plan kitchen-living-dining spaces with either single or double bedrooms, a dedicated dressing space, a bathroom, separate WC, and ample storage space.

In terms of internal areas and dimensions, the proposed additional units have been designed to meet the NDSS.



 Proposed Fourth Floor Plan
Scale 1:200 @ A3

3.4 Materials

The surrounding area comprises of a mix of mid century and later suburban housing, including semi-detached houses, detached villas and low-rise apartment blocks. Most houses are red or brown brick with tiled hipped roofs, white or dark uPVC windows, and occasional gable features. Apartment blocks in the area are standard post-war apartment blocks with flat roofs, simple brick façades, and recessed entrances. Some recent infill developments incorporate modern features, such as large glazing and minimal ornamentation, adding further diversity to the streetscape.

Ingladene Court blends well with the local character, featuring a mix of brown and beige brick with occasional white cladding elements. To reduce visual impact, the proposed upward extension is set back by 1 metre from the main façade and clad in standing seam metal, giving it a crisp, modern appearance that contrasts with the original building. Anthracite grey aluminium windows and a flat roof to maintain a clean, contemporary aesthetic, while remaining sympathetic to the building's form and broader context. The contemporary extension will also introduce a level of variation to a mixed street scene, while remaining in keeping with the character of the surrounding area.



Brown rick



Example of zinc cladding contrasting with brown brick



Anthracite Grey Aluminium Windows



Warm natural grey zinc cladding

3.5 Site

Amenity

The shared landscaped area to the north, east and south of Ingledene Court is retained as part of the proposal, continuing to serve as communal amenity space for all residents.

Cycle, Waste Storage and Car Parking

The site currently provides 6 on-site car parking spaces to the west along with garages to the south. The existing building contains 16 residential units, with 4 additional units proposed. A parking stress survey confirms that the surrounding highway network can accommodate up to 6 additional on-street spaces if required. A TRICS assesment demonstrates that the increase of in vehicle movements would be minimal.

The proposal also includes a new enclosed cycle store with capacity for 8 bikes alongside an upgrade to the existing bin store, which will accommodate additional waste and recycling provision. Currently, there are no visible cycle parking facilities on site. The bin store will house a total of 6 x 1100L eurobins and 2x 240L wheelie bins, allocated as follows:

- 1600L Residual Waste (2 x 1100L eurobins)
- 2200L Pulpable Materials (2 x 1100L eurobins)
- 2200L Co-mingled Recycling (2 x 1100L eurobins)



Proposed Site Plan
Scale 1:500 @ A3



Enclosed Cycle Shelters

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