

Design & Access Statement

69 New Lane, Eccles, Manchester



MELROSE DESIGNS

1. Introduction and Proposal

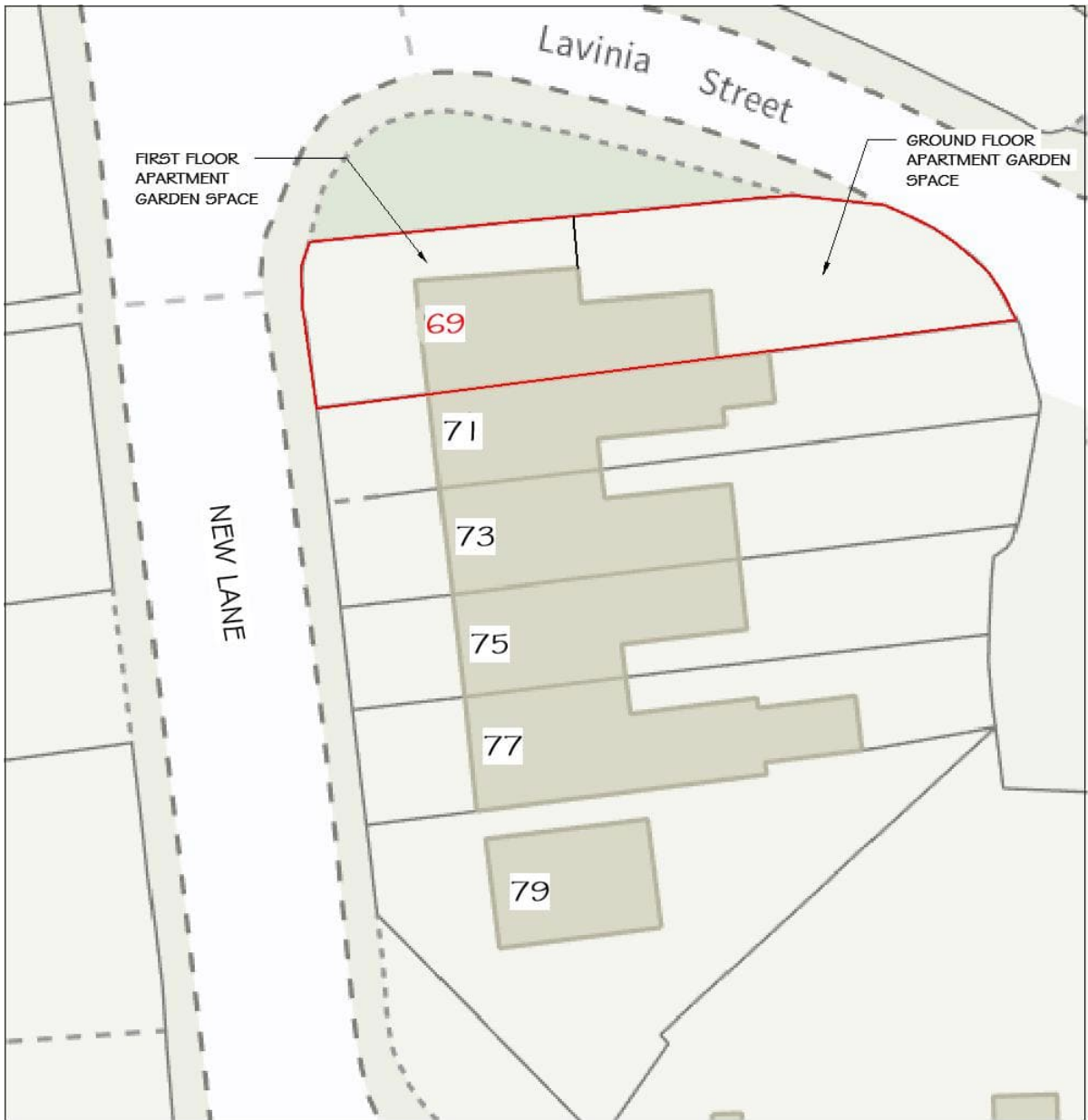
This document supports a planning application seeking permission for the conversion of the existing residential dwelling at 69 New Lane in Eccles. The proposal involves the subdivision of the property into two high-quality, self-contained 1-bedroom apartments, one unit on the ground floor and one unit on the first floor.

The site is an existing residential plot situated in Eccles, Manchester.

2. Development Aims and Justification

The design approach has carefully considered the amenity of neighbouring residents, the local highway network, and relevant technical standards.

- **Low Impact:** As a modest development, the proposed internal alterations are designed to have a minimal impact on the existing environment.
- **Policy Compliance:** We are confident that this proposal aligns fully with national planning policies, including the National Planning Policy Framework (NPPF), and relevant local plan requirements.
- **Sustainable Development:** Granting permission for this development is justified under the presumption in favour of sustainable development, supporting the efficient re-use of an existing building.



3. The Development Context

Location and Surroundings: Eccles is located in the City of Salford, Greater Manchester and the site is an End Terrace plot within an area predominantly characterised by residential properties, including terraced, semi-detached houses, and bungalows. The area benefits from a good selection of local amenities, shops and cafés a short distance away along High Street.

- Accessibility and Transport: The location benefits from excellent access to sustainable transport options.
- The nearest bus stop (Guildford Road) provides services to Winton and Prestwich.
- The nearest National Railway station is Patricroft.
- The proximity to main bus routes and the town centre ensures the site is highly accessible.

Parking Provision: There is dedicated parking at the front of the property. However, existing on-street parking for residents is also available on the side street (Lavinia Street), which provides capacity for 1 to 2 cars. Given the site's high accessibility to public transport and the provision of secure internal cycle storage, the proposed conversion to two 1-bedroom apartments is not expected to have a detrimental impact on the existing road network or local parking capacity.



4. Layout, Scale and Appearance (Design)

Layout: The internal reconfiguration will create two independent 1-bedroom apartments through minor structural alterations. The layout has been meticulously designed to ensure all rooms are of a high standard, with dedicated, private external amenity space allocated to each unit.

- Ground Floor Apartment: This unit, accessed directly via the rear door, will include living accommodation, a bathroom, kitchen/dining space and will have exclusive access to the renovated basement area and its own private rear garden area.
- Basement Use: The basement area, exclusively utilised by the ground floor apartment, will contain a secure communal cycle storage facility for both apartments (supporting sustainable travel) and a dedicated space for a plant room, building services, general storage, and/or laundry facilities.
- First Floor Apartment: This unit, accessed via the front door leading to an enclosed internal staircase, will include living accommodation, a bathroom, and kitchen/dining space. It will be allocated the private front and side garden areas as amenity space.

Quality Standard: The design of both apartments demonstrates full compliance with the current National Described Space Standard (NDSS), guaranteeing high-quality, functional residential space.

Scale and Appearance: The proposal involves minor structural alterations internally only.

Scale: The physical dimensions and massing of the building will not be altered.

Appearance: The external façade and appearance of the building will remain exactly as existing. No external works or maintenance are included in this application.

5. Landscaping and Amenity Space

While the overall appearance of the external landscaping will be maintained, the garden space will be formally demised to provide essential private amenity for each apartment, linked to their points of access:

Ground Floor Apartment: Will utilise the rear garden area, split to provide dedicated, private outdoor space directly accessible from the apartment's rear door.

First Floor Apartment: Will utilise the front and side garden areas, providing dedicated external amenity space linked to the main front entrance and stairwell access.

The precise division will be clearly delineated on the submitted plans to ensure privacy and adequate space for future residents, fulfilling the requirements for external amenity provision for new dwellings.



6. Technical and Environmental

Refuse and Recycling: will be provided with a 1.2m high timber enclosure within the front and rear gardens of the property.

Inclusive Access: The remodel will strive to meet the requirements of Part M of the Building Regulations wherever practically possible within the framework of the existing structure, aiming for the highest standard of inclusive accessibility.

7. Summary and Recommendation

The conversion of 69 New Lane into two 1-bedroom apartments is a sustainable and appropriate use for this building in its town centre location.

- The proposal involves only internal division, respects the character of the locality, and delivers high-quality housing that complies with the National Described Space Standard.
- The provision of secure cycle storage within the basement actively promotes sustainable transport, mitigating the impact on local parking demand.
- The impact of the works is considered to be exceptionally low.

The development will be highly beneficial to the immediate and wider local area by diversifying the housing supply and ensuring the long-term, effective utilisation of the existing building. We therefore request that planning permission be granted.

Melrose Designs
85 Melrose drive
Winstanley, Wigan
WN3 6EG

